

Walker Home Inspection

Your Property Inspection Report



, VA

Inspection prepared for:

Date of Inspection: 8/8/2022 Time: 9:45-12:30 pm

Age of Home: 1982 Size: 2770

Weather: Partly Cloudy

Inspector: Willie Walker

License # 3380001837 NRS Exp 05/31/2023 MD #34384 Exp 09/20/2023

PO Box 312, Mclean , VA 22101

Phone: (571) 556-7190

Email: Tripp@twalkerinspections.com

www.twalkerinspections.com

Walker Home Inspection appreciates the opportunity to conduct this inspection! Please carefully read your entire Inspection Report. Call us after you have reviewed your report, so we can go over any questions you may have. Remember, when the inspection is completed and the report is delivered, we are still available to you for any questions you may have.

Properties being inspected do not "Pass" or "Fail." - The following report is based on an inspection of the visible portion of the structure; inspection may be limited by vegetation and possessions. This inspection is a non-invasive visual inspection according to the ASHI Standards of Practice:
<https://www.homeinspector.org/Resources/Standard-of-Practice>

Depending upon the age of the property, some items like GFCI outlets may not be installed; this report will focus on safety and function, not current code. The photos in the report are representative, not every instance will be visually documented.

For your safety and liability purposes, we recommend that qualified licensed contractors evaluate and repair any critical concerns and defects. Note that this report is a snapshot in time. We recommend that you or your representative carry out a final walk-through inspection immediately before closing to check the condition of the property, using this report as a guide.

Please feel free to contact me by phone, text or email if you have any further questions.

Thank you.

Tripp Walker
(571) 556-7190

Tripp@twalkerinspections.com
www.twalkerinspections.com

Inspection Information

1. Home Type

Single Family

2. Bedrooms and Bathrooms

4 Bedroom
3 Full bath
1 Half bath

3. Utilities

Electric service on
Water service on
Natural Gas service on

4. Occupancy

Vacant

5. Weather

Partly Sunny

6. Attendance

Client
Full participation

Descriptions Of Property

1. Structural

FOUNDATION:

- Brick and concrete block construction
- Concrete slab
- Partial visibility, concealed or inaccessible areas not inspected

FLOOR STRUCTURE:

- Wood joists
- Partial visibility, concealed or inaccessible areas not inspected

ROOF STRUCTURE:

- Truss construction
- View from inside attic

WALL STRUCTURE:

- Wood framed walls
- Partial visibility, concealed or inaccessible areas not inspected

ATTIC FLOORING:

- None

ATTIC ACCESS:

- Access panel

2. Exterior Wall Covering

WALL COVERING:

- Brick Veneer
- Vinyl siding

TRIM:

- Wood Trim
- Aluminum wrapped wood trim

3. Roofing

MATERIALS:

- Asphalt shingles

ROOF TYPE:

- Gable roof, medium pitch

FLASHING:

- Roof edge flashing visible

ROOF PENETRATIONS:

- Plumbing vents
- Roof vent
- Skylights

ROOF AGE:

5-10 years old.

Observed:

- Viewed from the roof

The roofs age is just an estimate and you should request the installation permit from the sellers, which will reveal its exact age and any warranty guarantee that might be applicable.

4. Crawlspace

- None

5. Electrical

SERVICE ENTRANCE:

- Underground Lateral
- 200 Amp Service
- Panel located in basement

PANEL BRAND:

- Bryant

BRANCH CONNECTORS:

- Sheathed

SMOKE ALARMS:

- Missing in bedrooms

GROUNDING:

- Not visible

6. Fuel Supply

Type:

- Natural Gas
- Fuel Service: Partial visibility, inspection limited

Supply Pipe:

- Iron
- **CSSI**
- Partial visibility, inspection limited

7. Water Supply

Public Water

- Copper supply lines
- Partial Visibility, Limited inspection

8. Drain/Waste/Vent

- **PVC** pipe
- **ABS** Acrylonitrile Butadiene Styrene
- Partial visibility, inspection limited

9. Water Heater

State Water Heater

- Natural Gas water heater
- 50 gallons
- Interior combustion
- 40,000 BTU's

Model Number

- gs650ybvit 100

Serial Number

- 1222ado2027

Date of manufacture

- 2012

10. Sump and Sanitary Pump

Sump Pump:

- Inspected, working at time of inspection.
- Located in basement
- Sump well cover not sealed.

11. Heating and Cooling

Thermostat:

- Digital, Programmable

SYSTEM:

- Lennox

HEATING SYSTEM:

- Natural gas furnace

COOLING SYSTEM:

- Electric air conditioner

LOCATION:

- In basement.
- In utility room.

Condenser

Model Number

- e116xc1-030-230a01

Serial Number

- 5819c12746

Date of manufacture

- 2019

12. Fireplace

Masonry

- Natural Gas Logs
- Unable able to confirm working order
- Partial visibility, inspection limited

13. Insulation

ATTIC OR ROOF INSULATION:

- Fiberglass Batts
- Loose fiberglass
- Partial visibility, concealed or inaccessible areas not inspected

FLOOR INSULATION:

- Concealed, unable to inspect

WALL INSULATION:

- Fiberglass batts
- Partial visibility, concealed or inaccessible areas not inspected

14. Attic Ventilation

- Ridge vent noted
- Soffit Vent noted

15. Building Exhaust

- Furnace exhaust: partial visibility, inspection limited
- Water heater exhaust: partial visibility, inspection limited
- Clothes dryer exhaust: partial visibility, inspection limited
- Bathroom exhaust: partial visibility, inspection limited

16. Chimney

- Brick Chase
- Concrete crown
- Tile Flue
- Rain Cap
- Spark arrestor

17. Refrigerator

Samsung

- Inspected and working

Model Number

- rf28hmedber/aa

Serial Number

- 065143bg7011061

Date of manufacture

- 2015

18. Dishwasher

GE

- Inspected and working

Model Number

- gdf540hsf6ss

Serial Number

- lf850711b

Date of manufacture

- 2015

19. Garbage Disposal

Insinkerator

- Inspected and working

Model Number

- Badger 5xp-3

Serial Number

- 16081048223

Date of manufacture

- 2016

20. Oven / Cooktop

GE

- Inspected and working

Model Number

- jgb760sef2ss

Serial Number

- hf220369p

Date of manufacture

- 2015

21. Range Hood

None

22. Microwave

GE

- Inspected and working

Model Number

- jvm3160rf2ss

Serial Number

- gf241163a

Date of manufacture

- 2015

23. Clothes Washer

Samsung

- Inspected and working

Model Number

- wf42h5200aw/a2

Serial Number

- 0bep5aeg600159a

Date of manufacture

- 2015

24. Clothes Dryer

Samsung

Model Number

- dv42h5200ew/a3

Serial Number

- 0abf5bbg701234p

Date of manufacture

- 2015

Exterior Areas Observations

1. Roof

FASTENERS:

- Exposed fastener(s). Exposed nails on roofing material. Recommend sealing all fastener heads to prevent damage and/or leaks.



Exposed fasteners

2. Foundation

- Crack in foundation parging. Parging creates a water-resistant barrier to keep your home dry and free from damage. And if you don't maintain the parging, water can become trapped in between the wall and the coating, easily causing even more damage like spalling where the concrete becomes flaked, pitted or broken up.
- One or more minor cracks visible in the foundation wall.



Crack visible in foundation Parging



Crack visible

3. Chimney

- Minor mortar deterioration at chimney; moss present. Recommend cleaning and maintenance as needed.
- Crack in flue tile. Recommend evaluation to fully see the extent of the damage.



Crack in Flue tile



Brick and/or Mortar deterioration/ Moss growth

4. Gutters & Grading

GUTTERS:

- Extensions/Splash blocks missing or insufficient: Recommend installation to divert water away from the foundation.
- One or more downspouts discharging next to foundation. Recommend installing downspout extensions to carry roof drainage a minimum of 6 feet away from foundation or into storm drain, to help prevent water intrusion and damage to foundation.



Downspouts Extension missing; recommend installation.

5. Drives & Walks

- No major system safety or function concerns noted at time of inspection.

6. Siding

- Siding missing. Recommend installation to prevent pest intrusion and/or moisture damage. It is important to ensure all siding is correctly installed and in place to prevent framing members, sheathing, insulation, electrical components ect. from moisture damage, wood rot or pest damage.
- Exposed wood. Repair. Recommend priming and painting all exposed wood to help prevent damage and rot.
- One or more areas of missing, failed, or poorly applied caulk. Photos are representative only. Locate and repair all instances to prevent water intrusion and associated damage.



Failed or Missing sealant



Failed or Missing sealant



Failed or Missing sealant



Failed or Missing sealant



Exposed insulation/ missing siding



Missing siding

7. Vegetation

- Maintenance Tip: When landscaping keep plants, even at full growth, at least a foot (preferably 18 inches) from house siding and windows. Keep trees away from foundation and roof. Plants in contact or proximity to home can provide pathways to wood destroying insects and abrade and damage siding, screens and roofs.
- Trim trees that are in contact or proximity to home, as branches can abrade roofing or siding.
- Tree limbs within 10 feet of roof should be cut away or removed to provide air and sunlight to roof, while minimizing debris & dampness. This will help to extend the life for your roofing.
- Trees within 6 feet foundation. Recommend removal and/or monitor for potential root damage.
- Tree stump close to home. Recommend removal to keep ground dwelling, wood destroying insects (termites) away from home.



Trim tree branches.



Vegetation closer than recommended.



Vegetation closer than recommended.

8. Balcony, Decks & Steps

RAILS:

- Handrail not graspable. Modern Standards suggest hand rails should be configured that a hand may grasp around a rail for safety. Recommend correction.

STAIR OR STEPS:

- SAFETY HAZARD: Stair stringer over notched. Repair or replace. Minimum recommended width at the throat is 5 inches. Reinforce the stair stringer or replace.

- Missing bearing: Stair stringer missing bearing on header or connector. Recommend minimum of 1 1/2 inch bearing per stringer or added connector.

DECK:

- SAFETY HAZARD: Post over-notched. Prevent failure. The post is notched on more than one side, this significantly decreases and weakens the size and strength of the connection site. Replace the post or reinforce with metal connectors, blocking, etc.

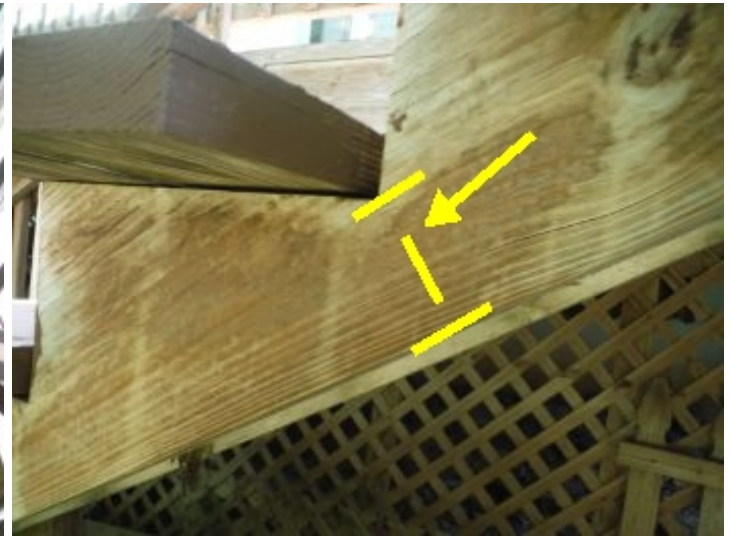
- Underside of deck is not totally visible so no representation can be made to the condition of the framing.

LEDGER BOARD:

- Deck ledger board flashing not visible. Flashing protects the ledger board, hardware and keeps water away from the structure. Prevent water damage, rust, corrosion failure or injury. Install flashing up behind the siding and underneath of the decking so that the flashing covers the top of the ledger board and fasteners.



Handrail not graspable



Improper connection.



Post over notched



Ledger board flashing not visible/rusted fasteners



Loose fasteners



Wood deterioration noted. Have repaired as necessary. Front Porch

9. Doors

THRESHOLD:

- Sealant missing. Prevent leaks and/or pests. Seal the bottom of the threshold/wall junction with a flexible sealant.



Failed or missing sealant



Failed or missing sealant

10. Eaves & Trim

TRIM:

- One or more areas of failed or missing paint. Locate all instances for correction. Not every instance will be documented.
- The wooden fascia and trim on the outside of the house has peeling paint and/or wood deterioration. Any rotten or damaged wood should be replaced and repainted. This may be an indication of delayed or poor maintenance. There may be other areas that need repair that were not observed. Also, the amount and depth of any moisture penetration cannot be determined until the damaged area is removed.

VENTS:

- Soffit venting seems inadequate. Recommend additional soffit venting for additional attic ventilation.



Failed or Missing sealant



Failed or missing paint



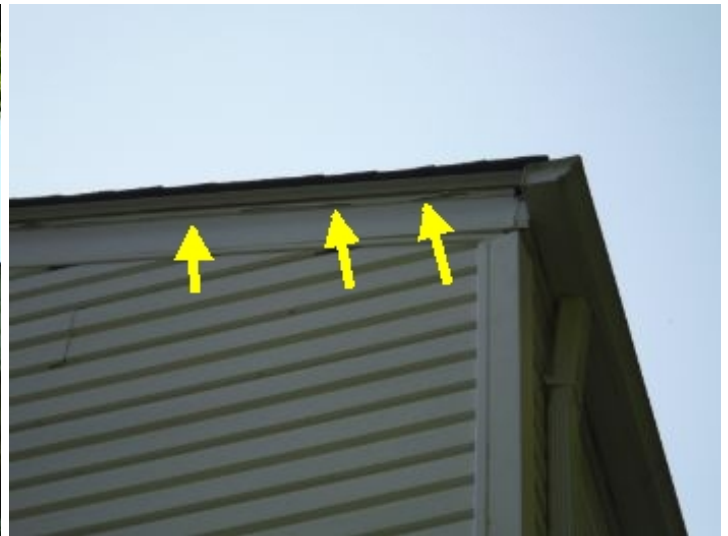
Exposed wood



Wood deterioration noted.



Failed or missing paint



Failed or missing paint



Failed or Missing sealant



Wood deterioration noted.



Soffit vents seem inadequate

11. Exterior Windows

- Deteriorated frame(s) at window(s): Repair. Recommend having all deteriorated wood frames and sills replaced.

OPERATION:

- Windows difficult to open. Recommend lubricating with silicone spray.

SEALANT:

- Some window trim areas show failed paint and need prep, priming and painting to prevent deterioration and rot. Recommend priming and painting.



Failed paint



Failed paint



Damaged window frame.



Damaged window frame.

12. Electrical, Exterior

OUTLETS:

- SAFETY HAZARD: Receptacle cover missing. Recommend installation of appropriate receptacle cover.



13. Plumbing

- Missing vacume breaker. Recommend installation. A hose connection vacuum breaker should be installed on each faucet or hose bibb that is connected to the potable water supply to prevent backflow into the water supply. Rear hose by condenser.

Interior Rooms

1. Kitchen

CAULK:

-- Caulk failed and/or missing. Repair. Prevent water damage, pests, or organic growth. It is recommended to caulk the entire length of backsplash/countertop junction. Remove all loose, crack or failed sealant or cracked grout. Clean area before applying new caulk for best results. Use a granite or countertop caulk. Silicone not recommended.

2. Primary

- No major safety or function concerns noted at time of inspection.

3. Primary Bath

FIXTURES:

- Vanity damaged. Repair. Secure backsplash to prevent further damage.

CAULK & GROUT:

-- Caulk failed and/or missing. Prevent water damage, pests, or organic growth. It is recommended to caulk the entire length of backsplash/countertop junction. Remove all loose, crack or failed sealant or cracked grout. Clean area before applying new caulk for best results. Use a granite or countertop caulk. Silicone not recommended.

- - Caulk failed and/or missing. Repair. Prevent water damage, pests, or organic growth. It is recommended to caulk the entire length of wall/countertop junction. Remove all loose, crack or failed sealant or cracked grout. Clean area before applying new caulk for best results. Use a granite or countertop caulk. Silicone not recommended.

- - Caulk failed and/or missing. Repair. Prevent water damage, pests, or organic growth. It is recommended to caulk the entire length of floor/toilet junction. Remove all loose, crack or failed sealant or cracked grout. Clean area before applying new caulk for best results. Use a granite or countertop caulk. Silicone not recommended.

- Caulk failed and/or missing. Repair. Prevent water damage, pests, or organic growth. It is recommended to caulk the entire length of sink/countertop junction. Remove all loose, crack or failed sealant or cracked grout. Clean area before applying new caulk for best results. Use a granite or countertop caulk. Silicone not recommended.

FIXTURES:

- Loose toilet. The toilet is loose at floor anchor bolts. For proper function the wax ring inside the unit must have a snug, to prevent leaking. Properly resealing and re-securing this unit is suggested to prevent water leakage and damage to the sub-floor area. This type of damage is not always visible or accessible to the inspector at time of inspection.

- Shower/tub plumbing fixture assembly loose at wall. Recommend caulking to secure and to keep water from entering behind wall.



Backsplash not secure



Failed and/or Missing sealant



Loose toilet



Loose shower mast

4. Bedrooms

- No major system safety or function concerns noted at time of inspection.

5. Bathrooms

SUPPLY:

- Shower/tub plumbing fixture assembly loose at wall. Recommend caulking to secure and to keep water from entering behind wall.

CAULK & GROUT:

- - Caulk failed and/or missing. Repair. Prevent water damage, pests, or organic growth. It is recommended to caulk the entire length of floor/toilet junction. Remove all loose, crack or failed sealant or cracked grout. Clean area before applying new caulk for best results. Use a granite or countertop caulk. Silicone not recommended.

- Caulk failed and/or missing. Repair. Prevent water damage, pests, or organic growth. It is recommended to caulk the entire length of shower/tub/wall/floor junction. Remove all loose, crack or failed sealant or cracked grout. Clean area before applying new caulk for best results. Use a granite or countertop caulk. Silicone not recommended.

- Recommend caulking the entire floor perimeter to prevent moisture damage from leaks and/or spills.

FIXTURES:

- Loose toilet. The toilet is loose at floor anchor bolts. For proper function the wax ring inside the unit must have a snug, to prevent leaking. Properly resealing and re-securing this unit is suggested to prevent water leakage and damage to the sub-floor area. This type of damage is not always visible or accessible to the inspector at time of inspection.



Loose toilet.



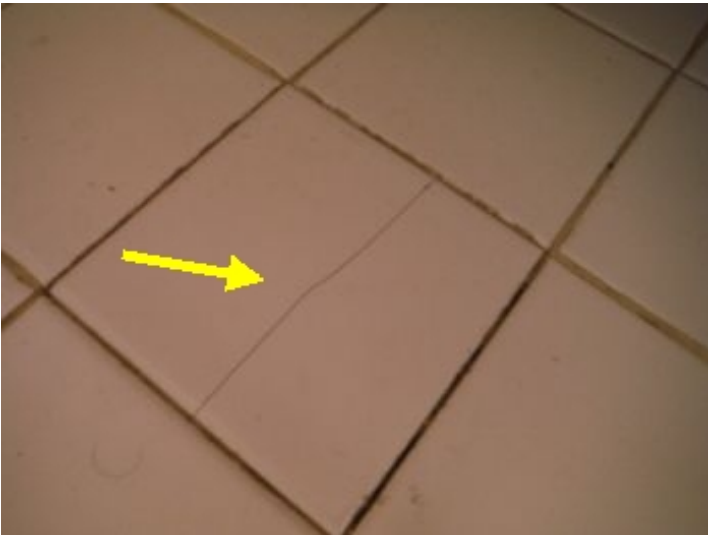
Failed or missing sealant Basement bath



Failed or missing sealant Basement bath



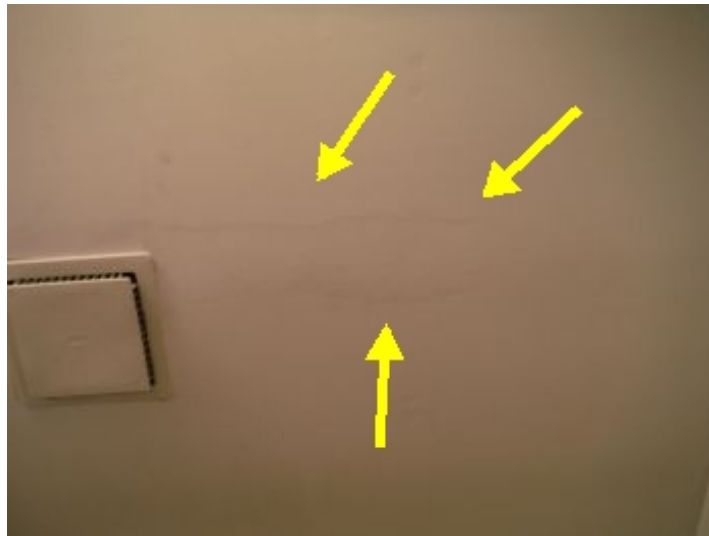
Counter top loose



Loose or broken tile.



Loose fixture.



Moisture stain Bathroom

6. Half Bath

FIXTURES:

- Loose toilet. The toilet is loose at floor anchor bolts. For proper function the wax ring inside the unit must have a snug, to prevent leaking. Properly resealing and re-securing this unit is suggested to prevent water leakage and damage to the sub-floor area. This type of damage is not always visible or accessible to the inspector at time of inspection.

CAULK & GROUT:

-- Caulk failed and/or missing. Repair. Prevent water damage, pests, or organic growth. It is recommended to caulk the entire length of floor/toilet junction. Remove all loose, crack or failed sealant or cracked grout. Clean area before applying new caulk for best results. Use a granite or countertop caulk. Silicone not recommended.



Loose toilet



Loose toilet bowl

7. Plumbing

DRAINS:

- Drain lines are slow and gurgle when emptying. This may indicate that lines are clogged or that the drain lines are not properly vented. Have plumber evaluate and repair as needed.

8. Interior Electric

- Electrical Junction Box Covers missing or damaged. This is a potential shock or electrocution hazard. Recommend installation of junction box cover(s).

Outlets:

- Loose outlet(s): Repair. Loose outlets can disrupt the flow of electricity, and may cause arcing, a serious fire hazard. Recommend having outlets re-secured.

- **GFCI** trip test failed or missing. Have licensed electrician evaluate and repair / replace as necessary.



Missing GFCI protection



Failed or missing GFCI Basement bath



Junction Box cover missing.



Loose receptacle.



Loose receptacle.



Loose outlet

9. Doors

PAINT:

- Some areas have missing and/or excessive paint. Recommend sanding areas to smooth finish before applying additional paint to present a more finished look.

OPERATION:

- Door tight and/or rubs. Recommend adjusting hinge or trimming door to allow proper operation and prevent damage.

HARDWARE:

- Misaligned strike plate: When a door latch won't catch, it's because the latch doesn't align with the hole in the strike plate. Recommend adjusting.



Failed paint



Door rubs Basement bath



Misaligned strike plate.



Damaged hardware

10. Windows

OPERATION:

- Clean window tracks for smoother operation. Recommend silicone spray.

11. Fireplaces & Stoves

- Level II inspection—The National Fire Protection Association (www.nfpa.org) advises that each chimney receive a Level II inspection each time a residence is sold. Inspection levels are explained at www.csia.org/pressroom/press-inspection-levels-explained.htm. It is also advised that this inspection be conducted by a chimney sweep certified by the Chimney Safety Institute of America (www.csia.org).

GAS FIREPLACE:

- Unable to confirm operation. Have seller demonstrate before closing.

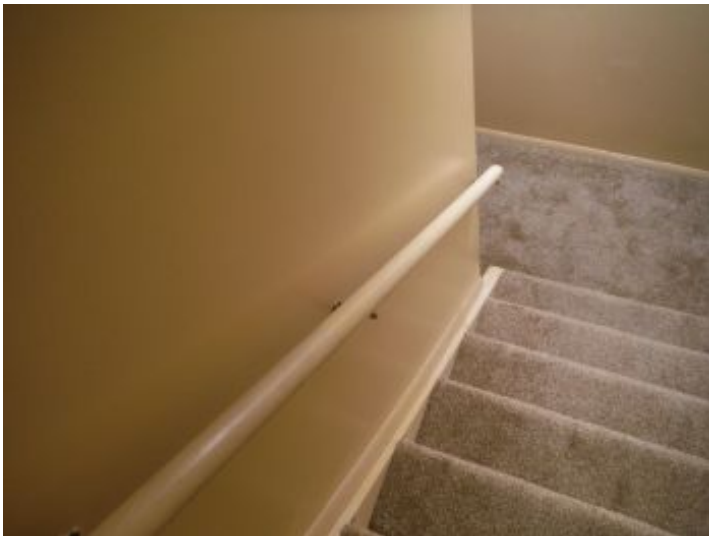


12. Stairways

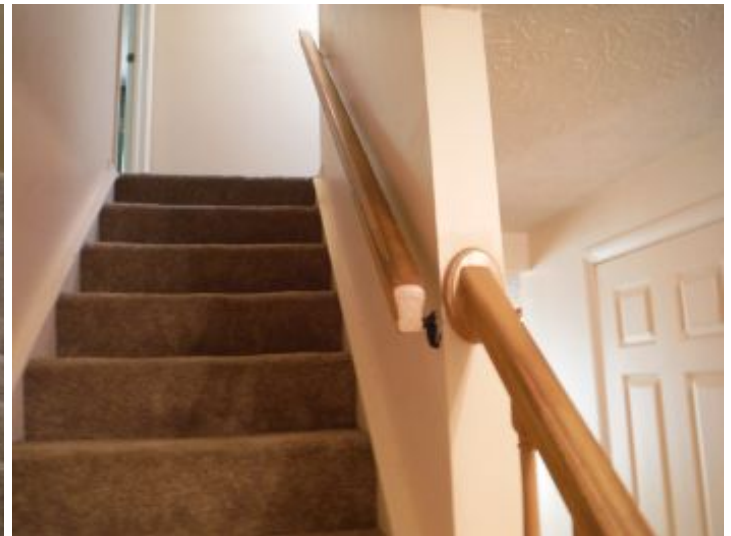
RAILING:

- Loose handrail. Recommend securing railing to wall to prevent damage and/or injury.

SAFETY HAZARD- Broken transition. Repair. Modern building practices now dictate handrails are continuous to prevent loss of grip, snags, or injury. Recommend installation.



Handrail loose



Handrail not continuous



Handrail loose

13. Floor, Walls, Ceilings

WALLS:

- Moisture stain on ceiling and/or walls. Identify any address any underlying moisture causing issues, properly prime area with a stain blocking primer to prevent any unsightly re-appearing stains.
- Slightly elevated moisture reading. Unable to determine source of moisture. Recommend further evaluation.

TRIM:

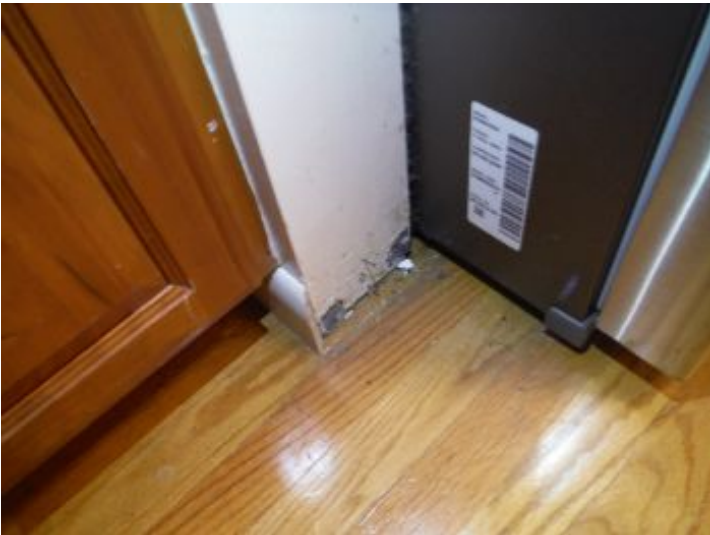
- Loose and/or missing trim. Recommend securing trim to wall to prevent damage.



Missing trim



Missing trim



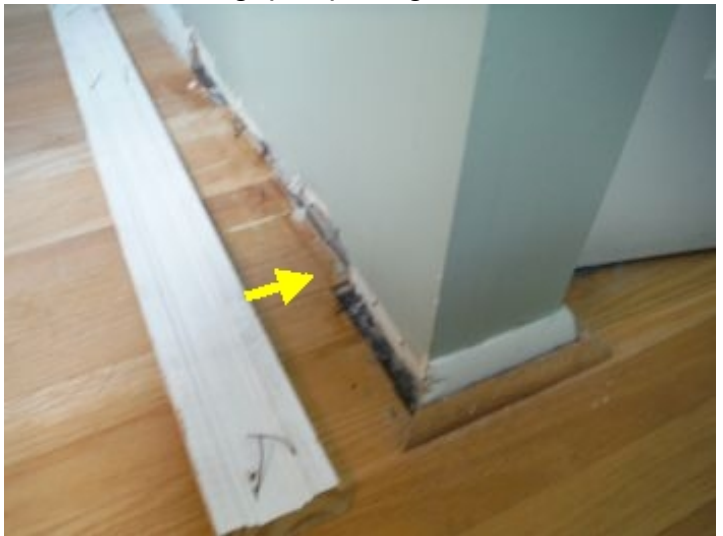
Missing trim Kitchen



Seal all gaps/openings / Pest hole



Elevated moisture reading Basement wall



Missing trim

Garage, Basement & Attic

1. Garage/Carport

- Gap between slab and foundation wall. This is common and a possible entry point for pests such as termites. Recommend sealing this gap with flexible concrete sealant.
- Repair holes in walls/ceiling to prevent energy loss, drafts, pests, smells, or a fire hazards. Seal all penetrations or holes in walls and ceilings adjacent to unconditioned spaces or wall cavities. Repair with drywall, Spackle, and or caulk.



Seal all gaps/openings.



Wall Damage



Wall Damage



Seal all gaps/openings.

2. Attic

TRUSSES:

- Improper connection. Framing members missing connectors. Appear to be toe nailed. Recommend additional connectors.

ELECTRICAL:

- Electrical Junction Box Covers missing or damaged. This is a potential shock or electrocution hazard. Recommend installation of junction box cover(s).

ATTIC STAIRS or HATCH:

- Maintenance Tip: Keep attic hatch sealed with weather stripping to increase efficiency and minimize warm moist air escaping to attic, which could promote conditions conducive to mold growth.

SHEATHING:

- Evidence of past or present leaks, dry at time of the inspection. Monitor for leaks &/or have roofing contractor evaluate.



Improper attachment



Improper connection. Missing connectors



Water stains present.



Missing Junction box.



Recommend weather stripping

3. Basement/Crawlspace

- No major system safety or function concerns noted at time of inspection.

Electric Panel, HVAC, Water Heater

1. Service Panel

SAFETY HAZARD- Multiple neutrals under one lug. Repair. The current standard is only one neutral per lug. Recommend a qualified electrician reorganize the neutrals to meet current standards.



Double lugged neutral

2. HVAC System

DUCTS:

- Sealant missing around floor register boxes. Prevent drafts, pests, or energy loss. Secure and seal the perimeter of all floor register boxes.

AIR HANDLER:

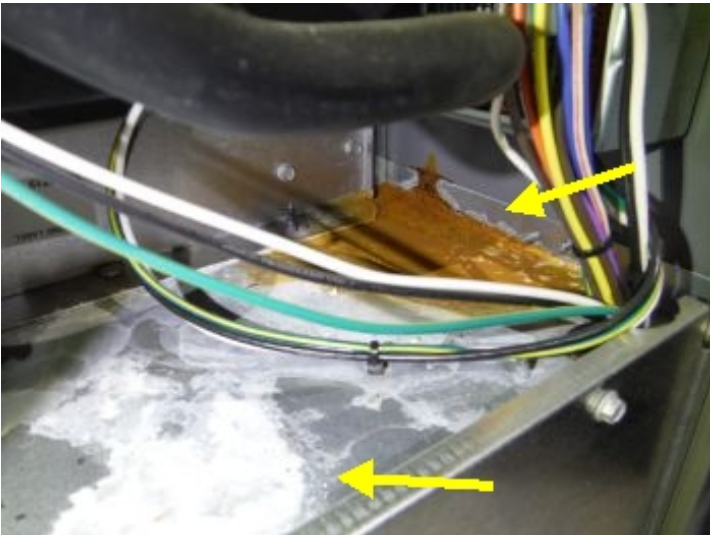
- Rust stains present from condensation or precipitation. Recommend having certified HVAC technician evaluate.
 - Air handler not completely sealed. Recommend Sealing all gaps and opening in air handler to allow air filter and unit to work as intended.

EXHAUST FLUE:

- Exhaust flue screen not installed. Prevent pests entry or unit damage. Recommend a plastic or stainless steel screen in all vents. Refer to the manufacturer's installation instructions to see what is approved.



Missing sealant



Moisture Stains/rust noted



Failed or Missing sealant.



Missing screens

3. Water Heater

- Corrosion evident. Replace. Recommend budgeting to replace before water heater failure to prevent damage.

CATCH PAN:

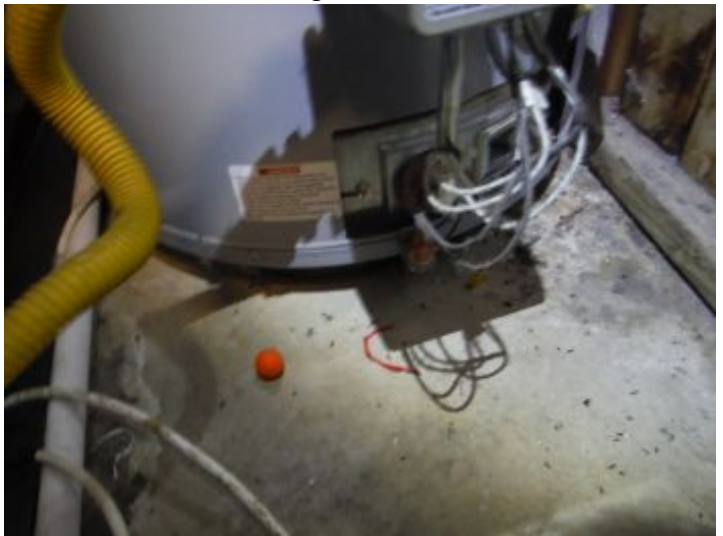
- No Catch Pan and Drain: Water heater is installed over finished living space. Consider installing pan.



Data Tag Water Heater

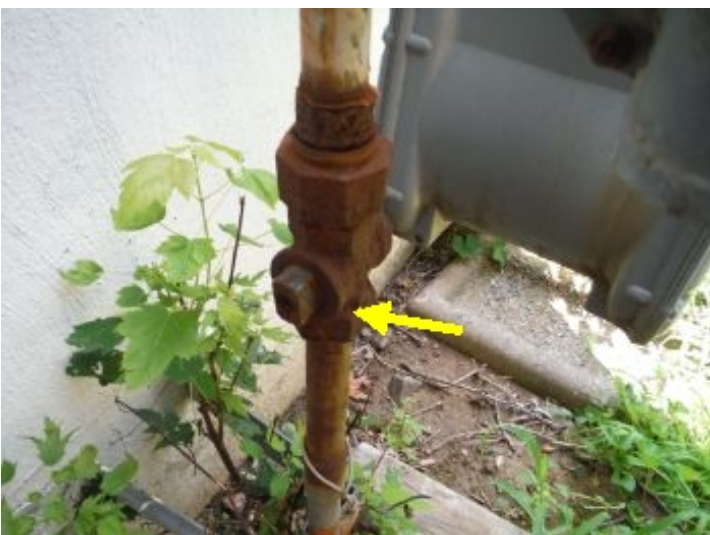


Rust visible

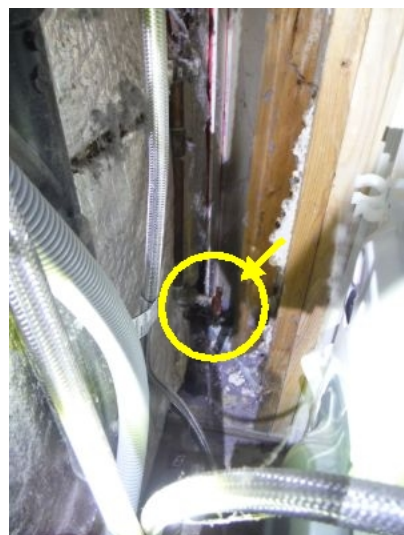


Floor pan not installed.

4. Shut Off



Main Gas shut off.



Main water shut off.

5. Sump/Sanitary Pump

- Sump pump lid(s) missing sealant. Recommend proper sealing to prevent unwanted gases, pests and odors from entering the home.



Missing sealant.

6. Gas meter

- Rust visible. Prevent further damage and or failure. Clean, prime and paint rusted pipes, apply a rust converter, or replaced damaged components.



Rust visible

7. Utility Room

- No major system safety or function concerns noted at time of inspection.

Appliance

1. Kitchen Appliance



Data tag Microwave



Data tag Range



Data tag Refrigerator



Data tag Dishwasher



Data tag Garbage Disposal

2. Washer And Dryer

DRYER:

- Dryer exhaust vent loose. Recommend securing to prevent lint build-up and fire risk.
- Inspector was only able to locate one laundry exhaust duct for the property. Recommend locating second laundry exhaust duct and ensuring proper exterior venting.

WASHER:

- Catch pan missing. Washing machine over finished living space with no catch pan and drain installed. A drain pan is crucial, particularly if your washing machine is above living space. A drain pan with a drain to the exterior helps avoid flooding in case of leakages or overfilling. Recommend installation.



Dryer vent not secure/ missing screen



Floor pan missing



Data tag Dryer





Data tag Washer