

Walker Home Inspection

Property Inspection Report



Your Home , Hometown, VA
Inspection prepared for: Sample Report
Date of Inspection: 9/6/2022 Time: 9:45-12:30 pm Size: 5000 sqft
Weather: Recent rain

Inspector: Willie Walker
License # 3380001837 NRS Exp 05/31/2023 MD #34384 Exp 09/20/2023
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Thank you for choosing Walker Home Inspection. The purpose of this inspection is to provide you with additional, objective information about the condition of inspected *components* at the time of the inspection.

This inspection is a non-invasive visual inspection conducted in accordance with the ASHI Predrywall Standard of Practice.
<https://www.homeinspector.org/Resources/Standard-of-Practice/Predrywall-Standard>

This inspection does not provide a warranty or guarantee regarding the condition of the property and of the inspected components. Photos are for representative purposes, not every instance will be visually documented.

We recommend that all work be performed by qualified professionals. If you have any questions please feel free to reach out.

Thank you,

Tripp Walker
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NRS Certified (New Residential Structures)

Property Information

1. Home Type

Detached house

2. Occupancy

Vacant

3. Utilities

No services on at the time of the inspection

4. Bedrooms

6 Bedrooms

5 Full Baths

5. Attendance

None

6. Weather

Recent Rain

Property Description

1. Roofing Description

ROOF TYPE:

- Hip roof, medium pitch

ROOFING:

- Asphalt shingles, new

FLASHING:

- **Drip Edge** flashing installed
- Kick-out flashing installed

ROOF PENETRATIONS:

- Plumbing Vents
- Roof vents
- Radon Exhaust Vent
- Furnace Exhaust

2. Exterior Wall Covering

- Siding not installed at the time of the inspection

3. Structural Description

FOUNDATION:

- Poured concrete basement foundation
- Limited visibility, concealed areas not inspected

POSTS AND BEAMS:

- Steel posts
- LVL Beams (Laminated Veneer Lumber)
- Wood columns
- Steel Beams

FLOOR STRUCTURE:

- Wood I-joists
- OSB sheathing subfloor (Oriented Strand Board)
- Mostly visible, mostly inspected

WALL STRUCTURE:

- Wood framed walls
- OSB wall sheathing

ATTIC FLOOR AND ROOF STRUCTURE:

- Wood trusses
- No attic flooring

4. Electrical Description

SERVICE ENTRANCE:

- Underground lateral, Capacity 400 amps, 240 volts

GROUND:

- Ufer rod grounding electrode

5. Heating and Cooling Description

- Installation not complete at the time of the inspection.
- Gas furnace

6. Water Supply Description

- Public water supply
- CPVC pipe
- Partial visibility, inspection limited

7. Water Heater Description

BRAND:

- American Water Heater

BTU'S:

- 76000

GALLONS:

- 75

MODEL NUMBER:

- PVG62-75T76-NV 310

SERIAL NUMBER:

- 2201127705780

8. Insulation Description

- Insulation not installed at the time of the inspection

9. Attic Ventilation

- Ridge vent

- Soffit vent

10. Fuel Supply Description

TYPE:

- Natural gas service

DISTRIBUTION:

- Iron pipe

- Installation not complete at time of inspection

11. Drain/Waste/Vent Description

- PVC pipe

- Mostly visible, mostly inspected

12. Sump Pump Description

- Installation not complete at the time of the inspection

- Located in the utility room

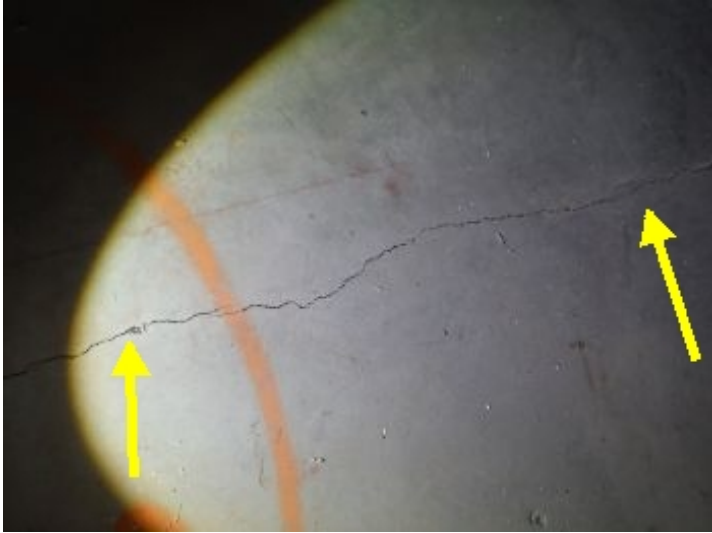
13. Fireplace Description

- None

Structure

1. Foundation

- Crack visible. Repair and monitor. Cracks 1/4" or less are generally not regarded as being structurally significant. Recommend patching area and sealing to prevent possible entry points for moisture, radon gases and to prevent further damage.



Crack visible



Recommend sealant



Recommend sealant



Damaged



Crack visible

2. Floor System

- Hole(s) in floor sheathing. Unsure of purpose. If not needed repair to prevent possible spreading of smoke and/or fire.
- Stair stringer over notched. Over notching weakens the stringer's overall strength by reducing the effective depth of the stringer member. The resulting throat of the stringer should not be less than the prescribed throat, which, for a 2x12, is approximately 5 inches.
- Missing bearing: Stair stringer missing bearing on header or connector. Recommend minimum of 1 1/2 inch bearing per stringer or added connector.
- Fireblock not visible. Prevent drafts, pests, fire, or smoke spread. Ensure all floor penetrations and openings are sealed with fireblock spray foam or caulk.



Fireblock not visible



Fireblock not visible



Fireblock not visible



Fireblock not visible



Fireblock not visible



Fireblock not visible/ hole in floor sheathing



Fireblock not visible



Fireblock not visible



Fireblock not visible



Fireblock not visible



Fireblock not visible



Fireblock not visible



Hole in sheathing



Fireblock not visible



Missing bearing or hanger



Over notched



Fireblock not visible



Missing connector



Weak connection

3. Wall System

- Wall system has not been seal at time of inspection. Recommend correction. Sealing gaps with caulk or fireblock to prevent thermal bridging, drafts and leaks ect.
- Energy loss through the sidewalls of a home accounts for nearly 35% of the total energy loss, more than windows (10%), doors (15%), the foundation (15%), and even the roof (25%).
- Sheathing damaged and/or missing. Recommend repair or installation. The living space should be separated from the garage by a firewall that extends from the floor to the roof. Maintain garage firewall with approved building material.
- Sealant failed and/or missing: Recommend installation: Seal all gaps and/or openings in exterior walls with caulk and/or fireblock to prevent or drafts and leaks.
- Sheathing damaged and/or missing. Recommend repair or installation. Prevent possible leaks, drafts and pests.
- Damaged studs. Multiple studs appear to have been damaged and "sistered" to reinforce the studs. Ensure plans do not call for double studs.
- Stud notch large. The remaining section is small and weak. Notches should not be larger than 40% of the stud width. Stud shoe, metal strap, or additional framing should be used for additional support.
- Nail plates missing. A nail plate keeps users from hammering nails into the area in wood framing where utilities run through, thus protecting cables, wires or tubing from costly accidents. Prevent damage to plumbing and electrical components. Recommend installation of nail plates where electrical or plumbing passes through a framing member and is less than 1 1/4" from the surface of the stud.
- Hole large. Remaining area of stud is small and weak. Holes in non load bearing studs should be no larger than 60%, load bearing walls 40% the width of the framing member and no closer than 5/8 inch to the edge. Stud shoe, metal strap, or additional framing should be used for additional support.
- Fireblock not visible. Recommend installation. Prevent drafts, energy loss, pests, or fire and smoke spread. Seal all wall openings or penetrations with approved fireblock spray foam or caulk.



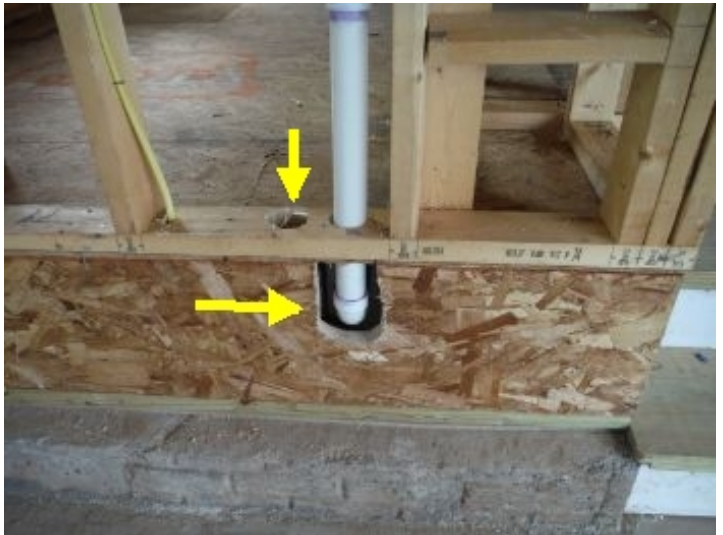
Missing nail plate



Missing sealant Laundry



Missing sealant Laundry



Hole in sheathing/ missing fireblock



Missing sealant



Missing fireblock



Missing nail plate



Missing nail plate Main lvl bath



Missing fireblock Main lvl bath



Stud notch large



Missing nail plate



Missing fireblock



Missing sealant Living area



Missing sealant



Missing sealant



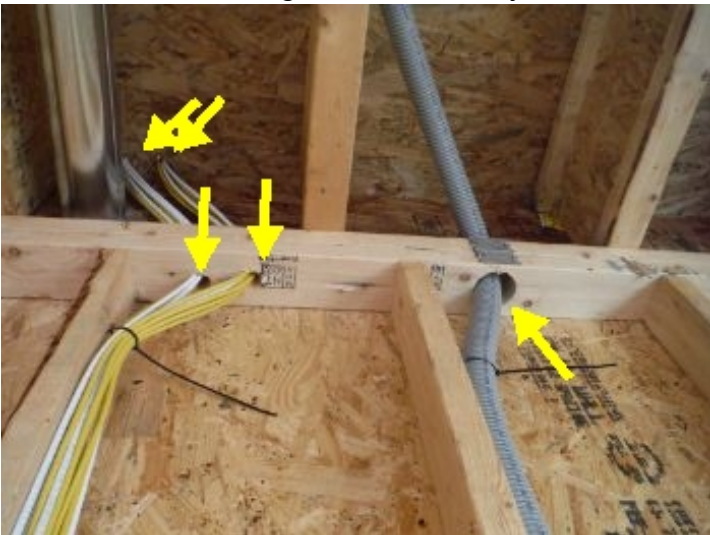
Missing sealant Study



Missing fireblock Study



Sheathing penetration



Missing fireblock



Missing sealant



Unused hole in sheathing



Missing nail plate



Missing sealant



Missing fireblock



Missing fireblock



Missing fireblock Primary



Damaged framing member



Damaged framing member



Hole in sheathing



Missing nail plate



Hole to close to edge



Hole to close to edge



Missing sealant



Missing fireblock



Damaged framing member



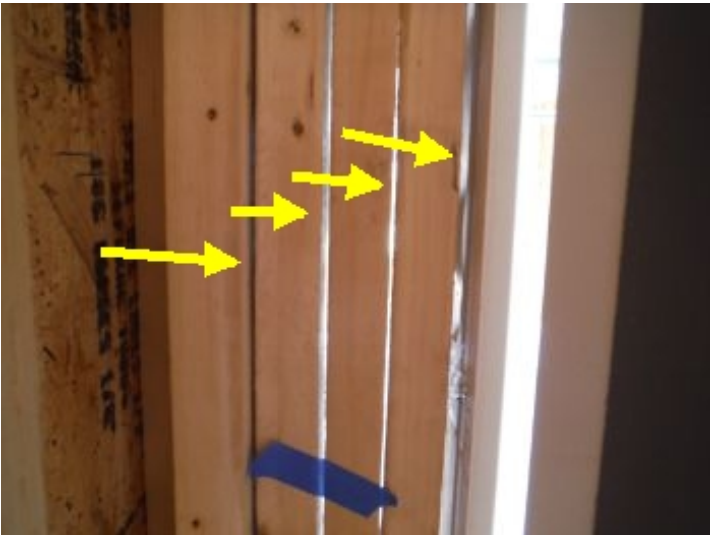
Missing sealant



Missing sealant



Missing fireblock



Missing sealant



Missing sealant Garage door



Missing sealant Front door



Damaged sheathing



Missing sealant Stairs

4. Roof System

- No issues visible at time of inspection.

Exterior

1. Roofing

- Roofing on porch not installed at time of inspection.

2. Roof Penetrations

- No problems visible at time of inspection.

3. Siding

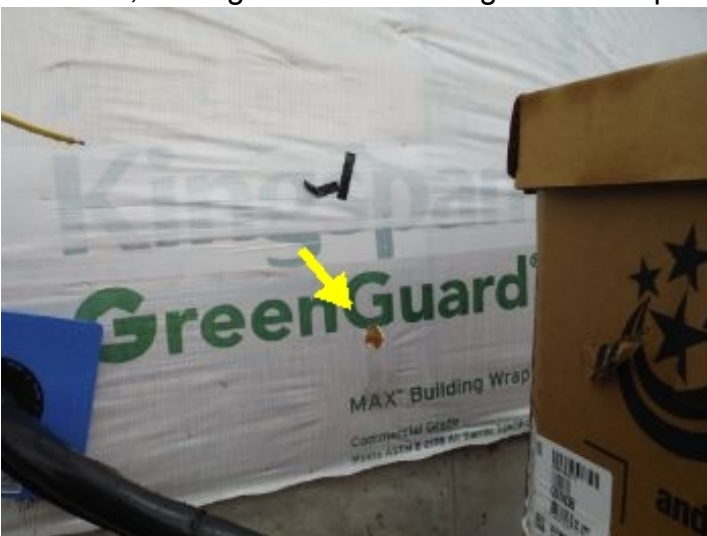
- House wrap loose and/or missing: Recommend repair. Ensure house wrap is secure over all wood sheathing to prevent water penetration and damage.
 - Damage sheathing. Repair. Recommend repairing hole in exterior sheathing to prevent moisture intrusion and/or pest entry.
 - Damaged house wrap: Recommend correction. Patch or replace damaged or missing house wrap to prevent leaks and water damage.
 - Cut and/or damaged house wrap. Repair. Recommend sealing all cut/or damaged areas of house wrap to prevent damage to sheathing.



Loose, damaged and/or missing house wrap



Exposed sheathing



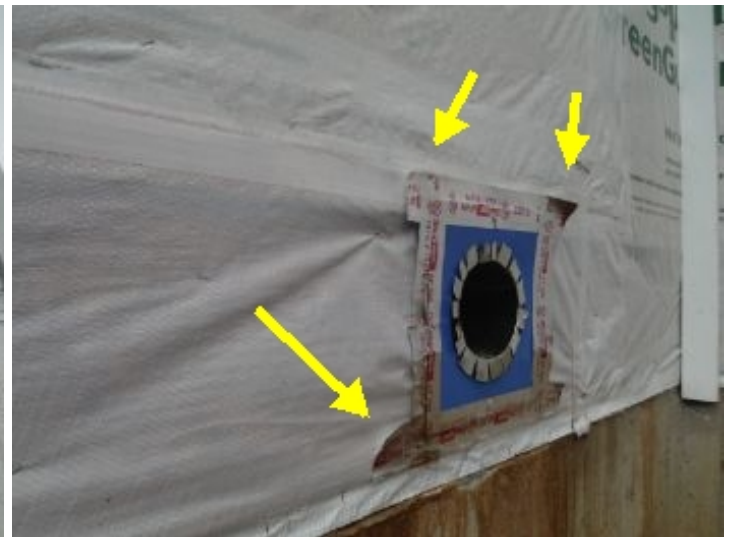
Loose, damaged and/or missing house wrap



Loose, damaged and/or missing house wrap



Hole in sheathing



Tape loose



Tape loose and/or missing



Exposed sheathing



Loose, damaged and/or missing house wrap



Loose, damaged and/or missing house wrap



Loose, damaged and/or missing house wrap



Loose, damaged and/or missing house wrap



Loose, damaged and/or missing house wrap



Loose, damaged and/or missing house wrap



Loose, damaged and/or missing house wrap



Tape loose and/or missing



Loose, damaged and/or missing house wrap

4. Flashing

- Loose flashing tape: All flashing should be properly taped to house wrap to prevent moisture intrusion and/or damage. Recommend correction.
- Flashing not visible and/or missing. All penetrations require flashing to carry water to exterior or to water-restive membrane. Recommend installation.



Tape loose



Tape loose



Incomplete installation



Flashing Missing

5. Trim

- Not fully installed at the time of the inspection.

6. Gutters, Downspouts

- Not installed at the time of the inspection.

7. Windows

- No problems visible at time of inspection.

8. Drainage

- No problems visible at time of inspection.

9. Grounds

- Low area. Repair. Recommend adding additional back fill to prevent water from pooling and draining to foundation wall.



Low area



Low area



Low area



Low area

10. Vegetation

- Not completed at the time of inspection.

11. Driveway

- Not completed at the time of inspection.

12. Walkways

- Not completed at the time of inspection.

13. Porch and Balcony

- Improper bearing: Balcony post misaligned. Recommend correction to ensure proper load bearing.

- Missing fastener(s): All round hole(s) in connectors should be filled by appropriate fastener. Recommend additional fastener to ensure proper strength.



Misaligned post



Loose and missing fastener



Missing fastener

14. Steps

- Installation not complete at time of inspection.

15. Exterior Doors

- No problems visible at time of inspection.
- Installation not complete at the time of the inspection.

Insulation and Ventilation

1. Floor Insulation

- Not installed at time of inspection.

2. Wall Insulation

- Not installed at time of inspection.

3. Attic Insulation

- Not installed at time of inspection.

4. Attic Ventilation

- No visible problems at time of inspection.

5. Furnace Exhaust

- No visible problems at the time of inspection. Installation not complete.

6. Water Heater Exhaust

- No problems visible at time of inspection.

7. Fireplace Exhaust

- None

8. Kitchen Exhaust

- Installation not complete at time of inspection.

9. Bathroom Exhaust

- No problems visible at the time of inspection.

10. Clothes Dryer Exhaust

- No problems visible at the time of inspection. Installation not complete.

11. Radon Mitigation Exhaust

- No problems visible at the time of inspection. Installation not complete.

Plumbing

1. Supply Distribution

- No visible issues with the interior water supply distribution components.



Main supply shut off

2. Drain/Waste/Vent

- No problems visible at time of inspection.

3. Sump/Sanitary Pump

- When radon system is installed with the sump well, it is important to keep an air tight seal to prevent any gas from entering the home.



Recommend sealing

4. Water Heater

- Missing support straps: Recommend correction. Install support straps to secure **expansion tank**.
- TPR drain line not installed. Recommend installation.



TPR valve line missing

5. Fuel Supply

- No problems visible at time of inspection. Installation not complete.

Electrical

1. Service Entrance

No visible problems at time of inspection.

2. Electrical Panel

- No visible problems at time of inspection.



3. Grounding

- No visible problems at time of inspection.



Ufer rod grounding connection

4. Wiring

- No visible problems with the branch circuit and feeder conductors, and raceways.

Internal Heating and A/C

1. Air Handler

- Installation not complete at the time of the inspection.



Attic system

2. A/C

- Installation not complete at the time of the inspection.

3. Heat Pump

- None

4. Ductwork

- Excessive duct bend: Repair. Excessive bent duct will restrict airflow by create drag. The radius of the bend should be no less than the diameter of the duct, per the manufactures instruction.



Excessive duct bend

5. Fireplace

- None

6. Furnace

- Installation not complete at the time of the inspection.

Interior

1. Doors

- No problems visible at the time of inspection. Installation not complete.

2. Windows

- Window shims missing: Recommend installation: Prevent damage to window(s) install window shims under all vertical window jambs. Have windows properly shimmed before sealant is installed.

- Unable to confirm presence of window shims due to sealant in place. Installation recommend: Prevent damage to window(s) install window shims under all vertical window jambs. Confirm with builder about installation.



Missing shims



Missing shims



Missing shims



Missing shims

3. Walls

- Installation not complete at the time of the inspection.