

Walker Home Inspections

Your Property Inspection Report



, Washington, DC 20011
Inspection prepared for:
Real Estate Agent: -

Date of Inspection: 1/5/2026 Time: 10:30 - 1:30 pm
Age of Home: 2016 Size: 5800 sq ft

Inspector: Willie Walker III
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Walker Home Inspection appreciates the opportunity to conduct this inspection! Please carefully read your entire Inspection Report. Call us after you have reviewed your report, so we can go over any questions you may have. Remember, when the inspection is completed and the report is delivered, we are still available to you for any questions you may have.

Properties being inspected do not "Pass" or "Fail." - The following report is based on an inspection of the visible portion of the structure; inspection may be limited by vegetation and possessions. This inspection is a non-invasive visual inspection according to the ASHI Standards of Practice: <https://www.homeinspector.org/Resources/Standard-of-Practice>

Depending upon the age of the property, some items like GFCI outlets may not be installed; this report will focus on safety and function, not current code. The photos in the report are representative, not every instance will be visually documented.

For your safety and liability purposes, we recommend that qualified licensed contractors evaluate and repair any critical concerns and defects. Note that this report is a snapshot in time. We recommend that you or your representative carry out a final walk-through inspection immediately before closing to check the condition of the property, using this report as a guide.

The report is confidential and is for the sole and exclusive private use of the client. The use of all information contained in the report is specifically restricted to the transaction for which the inspection was performed. Use of or reliance upon the report by other parties, or for other transactions, is strictly prohibited. No third party shall have any rights arising from this contract or the report and may not rely on the report. The client gives permission for the Inspector to discuss report findings with real estate agents, specialists, or repair persons for the sake of clarification. The written report is the property of the inspector and shall not be used by or transferred to any other person or company without the inspector's consent.

Please feel free to contact me by phone, text or email if you have any further questions.

Thank you.

Tripp Walker
(571) 556-7190

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Inspection Information

1. Home Type

Single Family

2. Bedrooms and Bathrooms

5 Bedroom

4 Full bath

2 Half bath

3. Utilities

Electric service on

Water service on

Natural Gas service on

4. Occupancy

Occupied

5. Weather

Partly Sunny

6. Attendance

Agent

Client

Partial participation

Descriptions Of Property

1. Structural

FOUNDATION:

- Concrete slab and poured concrete
- Partial visibility, concealed or inaccessible areas not inspected

FLOOR STRUCTURE:

- I-Joists
- OSB (Oriented Strand Board)
- Partial visibility, concealed or inaccessible areas not inspected

ROOF STRUCTURE:

- Truss construction
- Viewed from roof
- View from inside attic
- Partial visibility, concealed or inaccessible areas not inspected

WALL STRUCTURE:

- Wood framed walls
- Partial visibility, concealed or inaccessible areas not inspected

ATTIC FLOORING:

- No Attic flooring, Technicians landing only

ATTIC ACCESS:

- Pull-down stairs

2. Exterior Wall Covering

WALL COVERING:

- Brick Veneer
- Composition fiber cement clapboard
- Board and Batten

TRIM:

- PVC Trim
- Brick Veneer trim

3. Roofing

MATERIALS:

- Asphalt shingles
- Standing seam metal roofing

ROOF TYPE:

- Hip roof, medium pitch

FLASHING:

- Aluminum flashing, partial visibility.

ROOF PENETRATIONS:

- Plumbing vents
- Roof vent
- Skylights

ROOF AGE:

5-10 years old.

Observed:

- Viewed from the roof
- From ground

4. Crawlspace

- None

5. Electrical

SERVICE ENTRANCE:

- Underground Lateral
- 200 Amp Service X 2
- Panel located at Utility Room
- Main Disconnect outside

PANEL BRAND:

- Square D

BRANCH CONNECTORS:

- Sheathed
- Unable to inspect due to personal belongings

SMOKE ALARMS:

- Smoke alarms Installed, Not tested

GROUNDING:

- Clamped to the water pipe.

6. Fuel Supply

Type:

- Natural Gas
- Partial visibility, inspection limited

Supply Pipe:

- Iron
- Partial visibility, inspection limited

7. Water Supply

Public Water

- Copper supply lines
- PVC Supply lines
- Partial Visibility, Limited inspection

8. Drain/Waste/Vent

- PVC pipe
- Partial visibility, inspection limited

9. Sump and Sanitary Pump

Sump Pump:

- Inspected, working at time of inspection.

Sanitary Pump:

- None

10. Water Heater

State

- Natural Gas water heater
- 50 gallons

Combustion Air:

- Interior combustion
- 50,000 BTU'S

VENTING:

- Powered vent fan

Model Number

- gs650yrvit 200

11. Heating and Cooling

THERMOSTAT:

- Digital, Programmable

LOCATION:

- In hallway
- In bedroom

SYSTEM 1:

- Rheem
- Central forced air system

HEATING SYSTEM:

- Natural gas furnace

COOLING SYSTEM:

- Electric air conditioner

LOCATION:

- In basement.
- Condenser outside

SYSTEM 2:

- Rheem

HEATING SYSTEM:

- Heat pump

COOLING SYSTEM:

- Heat Pump

LOCATION:

- Attic
- Condenser outside

SYSTEM 1:

AIR HANDLER:

Model Number

- rcf3612stamca

CONDENSER:

Model Number

- ra1436aj1na

Date of manufacture

- 2015

SYSTEM 2:

AIR HANDLER:

Model Number

- rhit4821stanja

CONDENSER:

Model Number

- rp1442aj1na

12. Fireplace

TYPE:

- Prefabricated
- Inspected and working

FUEL:

- Gas Logs
- Partial visibility, inspection limited

13. Insulation**ATTIC OR ROOF INSULATION:**

- Fiberglass Batts

FLOOR INSULATION:

- Concealed, unable to inspect

WALL INSULATION:

- Concealed, unable to inspect

14. Attic Ventilation

- Ridge vent noted
- Soffit Vent noted

15. Building Exhaust

- Furnace exhaust: partial visibility, inspection limited
- Water heater exhaust: partial visibility, inspection limited
- Clothes dryer exhaust: partial visibility, inspection limited
- Kitchen exhaust: partial visibility, inspection limited
- Bathroom exhaust: partial visibility, inspection limited
- Fireplace exhaust flue: partial visibility, inspection limited

16. Chimney

- None

17. Refrigerator

Electrolux

- Inspected and working

Model Number

- e132ar80qsc

18. Dishwasher

Bosch

- Inspected and working

Model Number

- shp53t55uc/07

19. Garbage Disposal

Badger

- Inspected and working

Model Number

- 6-91

20. Oven / Cooktop

RANGE:

GE

- Inspected and working

FUEL:

- Natural gas

Model Number

- zgu366l p3ss

OVEN:

Kitchen Aid

- Inspected and working

Model Number

- kode300ess01

21. Range Hood

GE

- Inspected and working
- Exterior vented

Model Number

- jvw5361sj1ss

22. Microwave

Sharp

- Inspected and working
- Interior vented

Model Number

- smd2407oas

Exterior Areas Observations

1. Roof

FASTENERS:

- Exposed fastener(s). Prevent leaks or water damage. Seal all exposed nail heads and roof flashing. Recommend roofing sealant such as Loctite PL S30 or Liquid Nails RR-808. Replace loose, rusted, or short nails.



Exposed fasteners



Exposed fasteners

2. Foundation

- Cracks / Holes (1/4" or less) present in: foundation / floor / ext. wall. Recommend ensuring cracks are sealed to prevent water infiltration and damage from freeze and thaw cycles. Generally speaking, cracks that are less than 1/4" are not commonly regarded as being structurally significant.



Crack visible



Crack visible Left side

3. Chimney or Flues

- No major system safety or function concerns noted at time of inspection.

4. Gutters & Grading

DOWNSPOUT:

- Disconnected Downspout: A section of the downspout was observed to be disconnected from the gutter or discharge piping. This condition may lead to improper roof drainage, localized erosion, or water intrusion near the foundation. Reconnection and secure fastening are recommended to ensure proper water management.
- Downspout screen is clogged with debris, limiting drainage. Clean as needed to ensure proper operation.



Missing fasteners



Disconnected downspout extension.

5. Drives & Walks

- No major system safety or function concerns noted at time of inspection.

6. Siding

SIDING:

- One or more areas of missing, failed or poorly applied paint or sealant. When installing Hardi plank or like products, it is important to ensure all edges have been properly sealed to prevent moisture absorption and/or penetration. Follow manufactures installation instruction to ensure proper installation and warranty is not void.

- One or more areas of missing, failed or poorly applied sealant. All instances of missing, failed, or improperly applied sealant should be identified and addressed. All gaps should be located and filled with the appropriate sealant to effectively prevent water intrusion and pest infestation.

PENETRATIONS:

- Missing penetration block. One or more instances of missing penetration blocks. For penetrations in the building envelope such as hose bibs and holes 1½ in diameter or larger, such as dryer vents, a block of HardieTrim® 5/4, 4/4 boards shall be installed around the point of penetration. Blocking should be a minimum 3 in radius greater than the radius of the penetration.

FLASHING:

- Missing flashing: Missing flashing observed in one or more areas, or existing flashing appears improperly installed. Refer to the manufacturer's installation specifications for proper compliance, as improper installation may void the product warranty.

FENCE:

- Loose or warped fence boards observed in one or more areas. Correct as needed to prevent further deterioration and maintain a more finished appearance.



Failed or Missing sealant



Missing flashing



Failed or Missing sealant



Failed or Missing sealant Rear



Failed or Missing sealant



Penetration block missing/not visible



Failed or Missing sealant



Failed or Missing sealant



Loose board



Loose board

7. Vegetation

- No major system safety or function concerns noted at time of inspection.

8. Balcony, Decks & Steps

DECK:

- Ledger board is improperly attached. Ledger board should have direct "surface-to-surface" contact with rim or band joist.
- No Lag Bolts Visible: The deck ledger board is nailed or screwed to the house, or is covered and not visible. Consider installing lag screws to securely attach ledger board to rim joist, if they have not been used.
- Improper bearing. The deck joists are not properly bearing on the supporting beam. This is improper and could lead to damage or injury. It is recommended that a licensed contractor evaluate and correct this issue.

FASTENERS AND HARDWARE:

- Loose or Disconnected Fasteners: Fasteners were observed to be loose, missing, or improperly secured in various locations. This condition can lead to reduced structural stability, component failure, or material displacement over time. Recommendation: Re-secure or replace all loose or disconnected fasteners using appropriate materials and torque specifications. Ensuring secure connections helps maintain the integrity and safety of the assembly and prevents damage or loss of components.

WOOD:

- Possible carpenter bee damage. Carpenter bees can cause significant damage to wood structures and weaken framing members over time. Recommend further evaluation.

RAILS:

- Rust visible. Rust Identified on Metal Components: Areas of visible rust were observed on exposed metal surfaces. Rust not only compromises the appearance of the structure but, if left untreated, can lead to material degradation and weakened structural integrity. Recommendation: Remove any loose or flaking rust with appropriate tools (e.g., wire brush or grinder), then clean the surface thoroughly. Apply a rust-inhibitive metal primer or rust converter, followed by exterior-grade paint designed for metal surfaces. For any post penetrations into masonry or concrete, seal and level using anchoring cement to ensure long-term durability and a secure bond.

STAIR OR STEPS:

- Failed paint. Recommend removing all failed paint. Prime and paint all necessary areas to prevent further damage and present a more finished look.



Damaged Carpenter Bee



Missing fasteners



Missing bearing



Missing bearing



Missing bearing



Missing fasteners



Rust visible



Failed or missing paint



Failed or missing paint



Rust visible



Rust visible

9. Doors

WEATHER STRIPPING:

- Corner seal missing. A missing corner seal can lead to drafts, pests, or energy loss. To address this, corner seals should be installed at the bottom of both sides of the frame on exterior doors.

THRESHOLD:

- Failed or missing sealant: Exterior entry doors needs caulk at junction of threshold and floor to minimize water intrusion and damage and pest entry. Recommend ensuring all exterior threshold have appropriate sealant.

- Unsupported Rear Door Threshold: The rear door threshold appears to lack adequate support, which may lead to movement, uneven wear, or moisture intrusion over time. Recommend installing proper structural support to ensure long-term stability and performance.

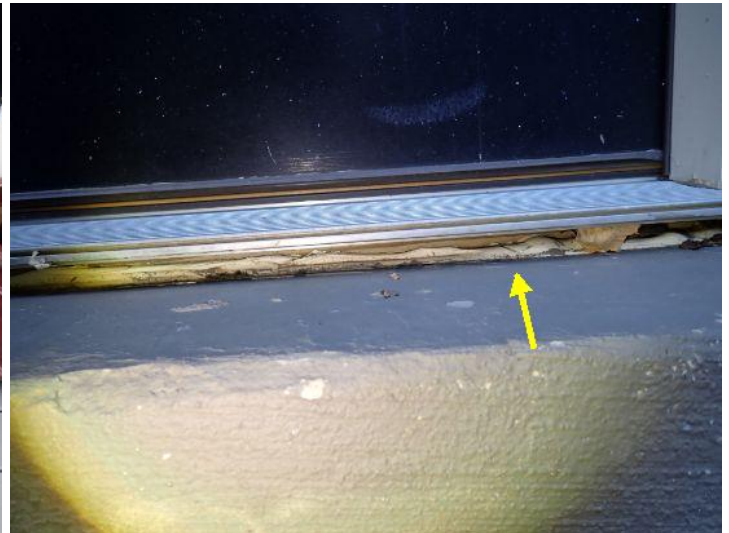
- Rear door(s) needs caulk at junction of threshold and floor to minimize water intrusion and damage

OPERATION:

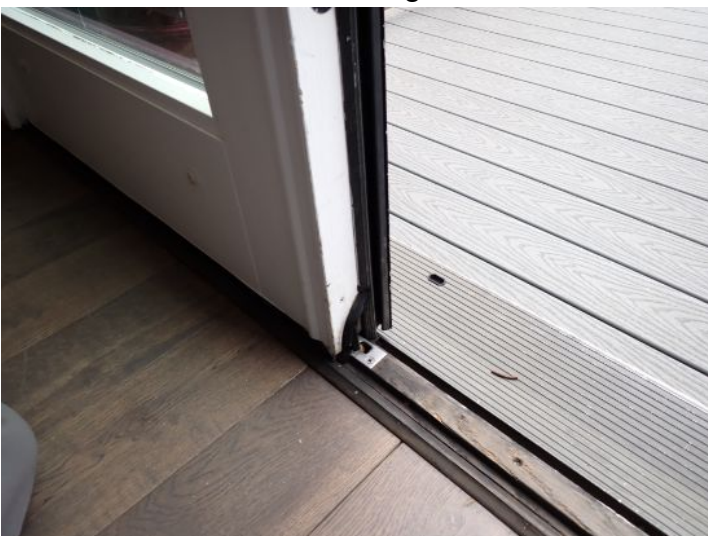
- Improper function. One or more doors do not operate as intended. Recommend repairing or replacing any damaged or incorrectly installed components to restore proper functionality.



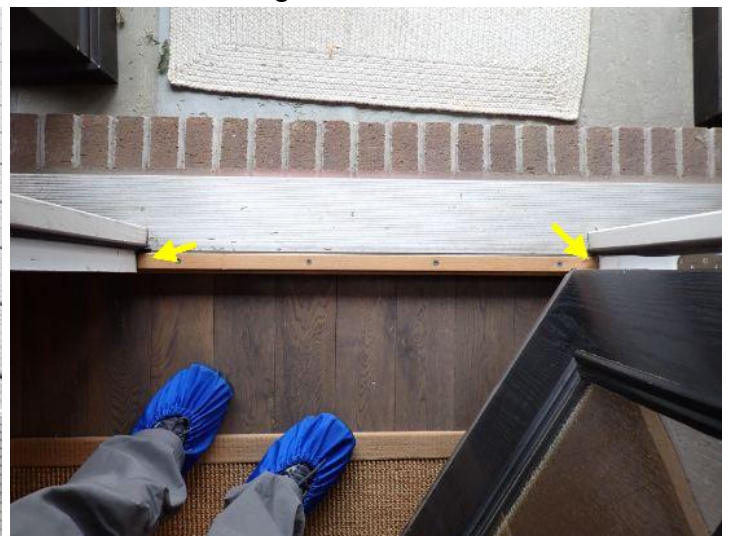
Failed or missing sealant



Failed or missing sealant Basement walkout



Improper function



Missing corner seal. (weather stripping) Front door

10. Eaves & Trim

TRIM:

- One or more areas of failed or missing paint/sealant. Identify all instances for correction, though not every occurrence may be documented.



Failed or Missing sealant



Failed or Missing sealant

11. Exterior Windows

SCREENS:

- Damaged or Missing Window Screens One or more window screens were observed to be torn, warped, or missing. Damaged screens reduce the effectiveness of ventilation, allow for potential pest entry, and detract from the home's visual appeal. Recommendation: Replace or repair all affected window screens to restore their intended function. Properly maintained screens support indoor air quality, minimize pest intrusion, and contribute to overall building aesthetics.



Damaged Screen

12. Electrical, Exterior

- Loose or disconnected conduit. Recommend ensuring no gaps are accessible to prevent access to live electrical components.



Damaged conduit

13. Plumbing

- No major system safety or function concerns noted at time of inspection.

Interior Rooms

1. Kitchen

SEALANT:

- Missing or Deteriorated Caulk at Backsplash Junction: Caulking along the seam between the backsplash and countertop is missing, failed, or insufficient in one or more areas. This gap can allow water to seep behind surfaces during regular use, increasing the risk of water damage, organic growth such as mold or mildew, and potential pest intrusion. Recommendation: Repair and reapply caulking along the entire length of the backsplash-to-countertop junction using a mold-resistant, kitchen-grade sealant. Proper sealing will enhance the appearance, maintain sanitary conditions, and help protect adjacent surfaces from moisture-related damage.

- Caulk is failed or missing. Repair to prevent water damage, pest intrusion, and organic growth. Recommend caulking the entire length of the sink-to-countertop junction.

CABINETS AND DRAWERS:

- Loose hardware: Prevent damage or injury. Ensure all hinges are secure. Stripped holes may need longer screws or may need to be filled with glue and wooden dowels or matches and re-drilled before reinstalling screws. Align cabinet doors squarely and evenly with the position of the hinges.

- Misaligned Cabinet or Drawer Door: One or more cabinet or drawer doors were observed to be misaligned, resulting in uneven gaps, improper closure, or friction during use. Misalignment can lead to premature wear on hinges and adjacent surfaces, potentially reducing the lifespan and functionality of the cabinetry. Recommendation: Adjust doors and drawer fronts as needed to ensure proper alignment and smooth operation. Correct positioning helps prevent damage, promotes ease of use, and restores the intended aesthetic of the cabinetry.

- Cabinet and/or cabinet door(s) damaged or missing noted. Recommend repair to ensure proper function and a finished look.



Loose hardware.



Loose hardware.



Failed or missing sealant



Loose hardware.



Damaged



Cabinet/Drawer door misaligned Basement bar



Failed or missing sealant Basement bar

2. Bathrooms

CAULK & GROUT:

- Caulk failed and/or missing. Repair. Prevent water damage, pests, or organic growth. It is recommended to caulk the entire length of backsplash/countertop junction. Remove all loose, crack or failed sealant or cracked grout. Clean area before applying new caulk for best results. Use a granite or countertop caulk. Silicone not recommended.

- Deteriorated or Missing Caulk/Grout at Shower and Tub Junctions The joints between the shower, tub, walls, and floor show signs of missing, failed, or deteriorated caulk and grout. These gaps can allow moisture to penetrate behind finishes, leading to potential water damage, mold or mildew growth, and pest activity within wall cavities or subflooring. Recommendation: Carefully remove all loose, cracked, or failing caulk and grout. Clean the surfaces thoroughly to ensure proper adhesion. Reapply caulk along the full perimeter of all shower and tub junctions using a granite- or stone-safe product; avoid using standard silicone in these areas, as it may not adhere properly or maintain long-term durability. Proper sealing will help safeguard against moisture intrusion and maintain sanitary, finished surfaces.

- Caulk failed and/or missing. Recommend caulking the entire floor perimeter to prevent moisture damage from leaks and/or spills.

- Caulk failed and/or missing. Repair any failed or missing caulk to prevent water damage, pests, or organic growth. It is recommended to caulk the tub mast wall junction. Begin by removing all loose, cracked, or failed sealant, as well as any cracked grout. Clean the area thoroughly before applying new caulk for optimal results. Use granite or countertop-specific caulk, as silicone is not recommended.

FIXTURES:

- Toilet paper holder missing or loose at wall. Recommend securing flush to wall to prevent damage.



Failed and/or Missing sealant Half bath



Failed and/or Missing sealant Basement on suit bath



Failed and/or Missing sealant Basement on suit bath



Failed and/or Missing sealant Basement on suit bath



Failed and/or Missing sealant Basement on suit bath



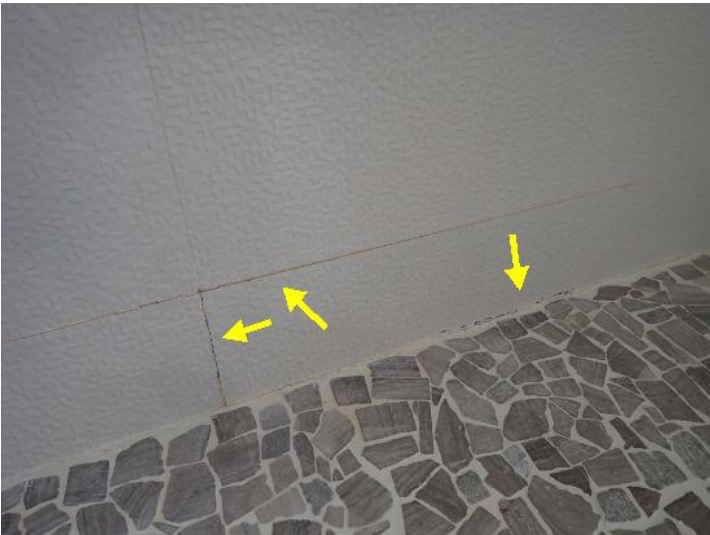
Loose hardware



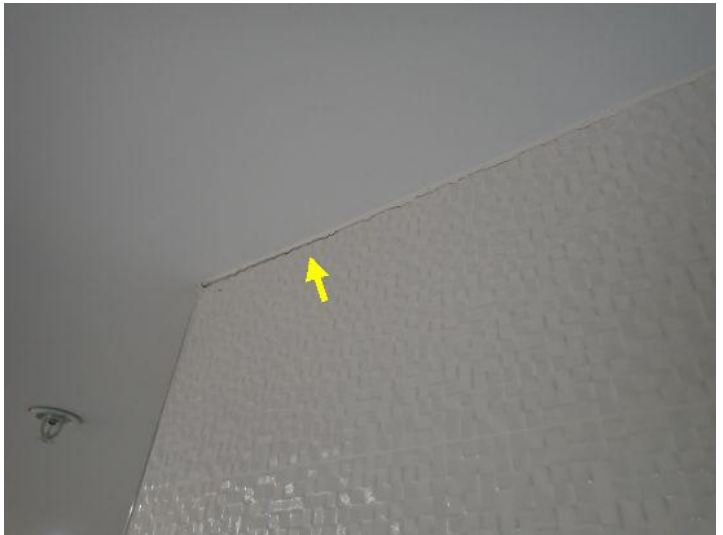
Failed and/or Missing sealant J&J bath



Unable to evaluate



Failed and/or Missing sealant Primary bath



Failed and/or Missing sealant Primary bath



Failed and/or Missing sealant Primary bath



Failed and/or Missing sealant Primary bath



Failed and/or Missing sealant Primary bath

3. Plumbing

DRAINS:

- Sink drains slowly: The sink drains slowly, indicating a partial obstruction in the drain line. Recommend clearing the drain to restore proper flow and prevent potential backups or water damage.



Slow drain Half bath

4. Interior Electric

RECEPTACLE:

- Damaged and/or missing outlet cover or switch cover. Replace. This is a safety hazard due to the risk of fire and shock due to access of internal wiring. Cover plates should be installed or replaced where missing.
- **GFCI** test failed. Receptacles are required in kitchens, bathrooms, garages, crawl spaces, basements, laundry rooms and areas where a water source is within 6 feet. Recommend correction to prevent injury.



Missing receptacle cover Basement bar



Failed or missing GFCI Basement bar

5. Doors

HARDWARE:

- Rust visible on hardware. Recommend replacing all damaged or rusted components to prevent damage or injury.

OPERATION:

- Door tight and/or rubs. The door is tight or rubbing, which may affect its proper operation and lead to potential damage. Adjusting the hinges or trimming the door is recommended to ensure smooth functionality and prevent wear over time.

TRIM:

- Damaged and/or missing trim: One or more areas of trim were observed to be damaged or missing. Repair or reinstall affected sections as needed to restore a more finished appearance.

DAMAGE:

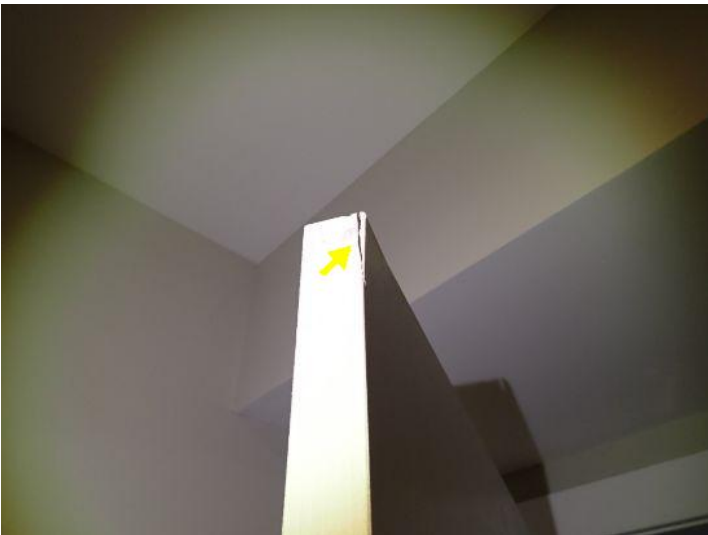
- Door damaged. Only cosmetic and will not affect proper function. Recommend repairing or replacing to present a more finished look.



Door rubs Basement bedroom



Damaged trim. Basement bedroom



Damaged Door Basement bedroom



Rusted hardware J&J bath

6. Windows

OPERATION:

- Improper function: Window will not lock under normal operating pressure. Recommend re-aligning, repairing or replace all damaged and/or non-functioning components to ensure proper function.

TRIM:

- Caulk failed and/or missing. Repair. Caulk around windows where missing or inadequate.



Failed and/or Missing sealant



Failed and/or Missing sealant



Improper function

7. Fireplaces & Stoves

- No major system safety or function concerns noted at time of inspection.

8. Stairways

RAILING:

- Loose handrail. Recommend securing railing to wall to prevent damage and/or injury.



Handrail loose 3rd level

9. Floor, Walls, Ceilings

FLOORING:

- Gap in flooring: One or more gaps were observed in the flooring. It is recommended to repair or replace any damaged or improperly installed sections to help prevent moisture intrusion and potential subfloor damage.
- Missing sealant: Open voids or unsealed joints were observed in one or more locations, where sealant is absent or has deteriorated. These areas present a pathway for moisture intrusion, which can lead to structural damage, interior staining, or organic growth over time. Apply an appropriate interior-grade sealant to fill all affected gaps. Proper sealing helps protect structural materials, maintain a clean appearance, and reduce the risk of moisture-related issues indoors.

CEILING:

- Minor settlement cracks and nail pops as is normal for a house of this age. Monitor.



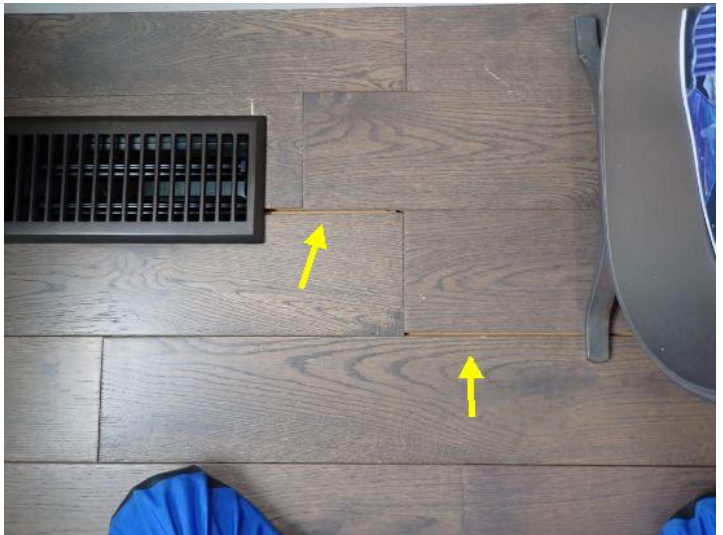
Gap in flooring



Gap in flooring



Gap in flooring



Gap in flooring Near fireplace



Failed and/or missing sealant Fireplace wall junction



Gap in flooring



Failed and/or missing sealant Basement walkout



Failed and/or missing sealant Basement walkout



Failed and/or missing sealant
walkout Basement



Crack in drywall Basement

Garage, Basement & Attic

1. Garage/Carport

- No major system safety or function concerns noted at time of inspection.

2. Attic

INSULATION:

- Inadequate or Missing Attic Insulation: Attic insulation was observed to be missing, displaced, or insufficient in one or more areas, which may contribute to increased energy loss, reduced indoor comfort, and higher utility costs. Proper insulation is essential for maintaining consistent indoor temperatures and reducing the load on heating and cooling systems. Install insulation to achieve at least an R-49 thermal resistance value throughout the attic, in line with modern building standards. This can be accomplished with approximately 16"–20" of loose-fill fiberglass, 13"–15" of tightly installed fiberglass batts, or 14"–17" of loose cellulose or mineral wool batts. Apply insulation evenly, avoiding gaps, low spots, or compression to ensure optimal performance and thermal efficiency.

ATTIC STAIRS or HATCH:

- No insulation over attic stairs: Recommend installation of attic stair insulation cover, then sealing hatch with weather stripping to minimize heat loss. Recommend following manufactures installation instructions for best results.

ELECTRICAL:

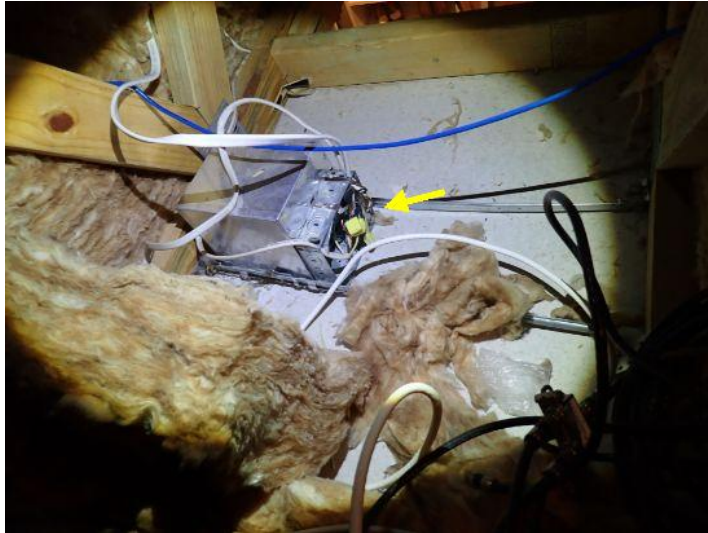
- Electrical Junction Box Covers missing or damaged. This is a potential shock or electrocution hazard. Recommend installation of junction box cover(s).



No insulation over attic stairs



Low or Missing insulation



Missing junction box cover.

3. Basement/Crawlspace

- No major system safety or function concerns noted at time of inspection.

4. Utility Room

- No major system safety or function concerns noted at time of inspection.

Electric Panel, HVAC, Water Heater

1. Service Panel

- No major system safety or function concerns noted at time of inspection at main panel box.

2. HVAC System

DUCTS:

- Sealant is missing around the floor register boxes, which may lead to drafts, pest entry, or energy inefficiency. It is recommended to secure and seal the perimeter of all floor register boxes to address these issues effectively and maintain a well-insulated and protected home environment.

CONDENSER:

- Condenser pad not level. Uneven pad can increase the wear on the bearing leading to shorter lifespan. It is recommended to ensure the condenser is level and that all feet have been properly adjusted for optimal performance.

CONDENSATE LINE:

- Trap(s) missing or inaccessible. Condensate drain line. Repair. Prevent energy loss. A trap in the line prevents conditioned air from being pushed out of the drain. Install a P trap with an accessible cleanout. Traps need periodic cleaning. You can prevent a clogged AC drain by performing routine cleaning. By pouring a ¼ cup of vinegar into your AC's drain line, you will kill any mold, algae, mildew, and other forms of bacteria or fungi, preventing it from forming a buildup and causing a clog. Repeat this monthly for the best results.

FURNACE:

- Water Stains and/or Rust in Air Handler Cabinet Staining and/or rust were observed within the air handler, indicating the presence or past presence of moisture inside the unit. This can result from condensate leakage, ductwork gaps, or improper drainage, and may contribute to corrosion of components, microbial growth, or system inefficiency. Recommendation: Clean all visible stains and rusted areas thoroughly, and identify and correct the source of the moisture intrusion. This may involve clearing or repairing the condensate drain line, adjusting insulation, or resealing cabinet or duct seams. Monitor the area periodically for recurring issues, and ensure all penetrations, seams, and joints are properly sealed to prevent future problems and preserve system performance. It is recommended to have the system evaluated by a licensed HVAC technician to assess any internal damage and ensure safe, efficient operation.



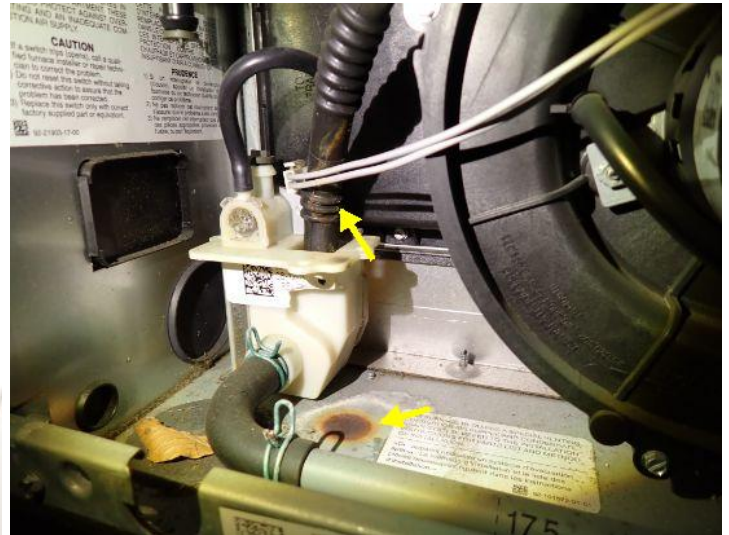
Pad not level.



Missing sealant



Missing "P" trap



Rust/Moisture stains

3. Water Heater

CATCH PAN:

- Missing drain line. The water heater is missing a drain line extension. It is recommended to install an extension that directs discharge to the floor drain to help prevent potential water damage.

EXHAUST FLUE:

- Loud exhaust motor: Exhaust motor operating louder than normal, possibly due to a worn bearing or hardware issue. Monitor performance and repair or replace as necessary.



Missing drain line

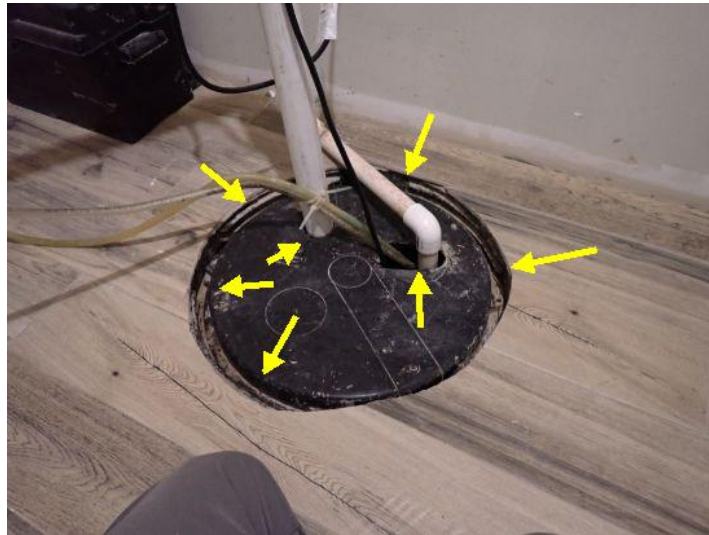


Loud motor

4. Sump/Sanitary Pump

SUMP PUMP:

- Sump pump lid(s) missing sealant. Recommend proper sealing to prevent unwanted gases, pests and odors from entering the home.



Missing sealant.

5. Gas meter

- Rust visible: Rust Present on Gas Meter Piping Rust has developed on the exposed sections of gas meter piping. If left unaddressed, this corrosion may continue to degrade the pipe surface, potentially leading to material failure or compromised system safety. To mitigate further deterioration, the rusted areas should be thoroughly cleaned and treated with a rust converter. Following treatment, a primer and protective paint suitable for metal and outdoor conditions should be applied. If the corrosion is advanced and has affected the integrity of the pipes, replacement of the damaged components may be necessary. Regular maintenance of this nature supports both the durability and safe operation of the gas piping system.



Rust visible

6. Shut Off



Electrical Disconnect.



Main Gas shut off.



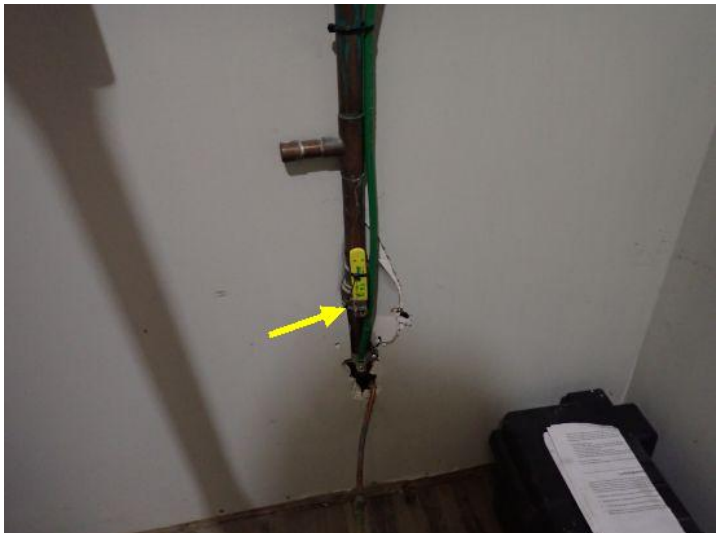
Gas supply shut off Fireplace



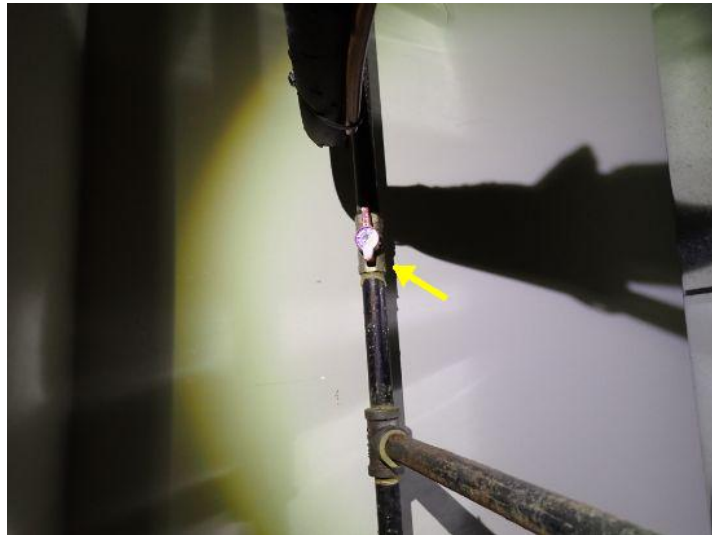
Gas supply shut off. Water Heater



Water heater supply shut off.



Main water shut off.



Gas supply shut off. Furnace basement

Appliance

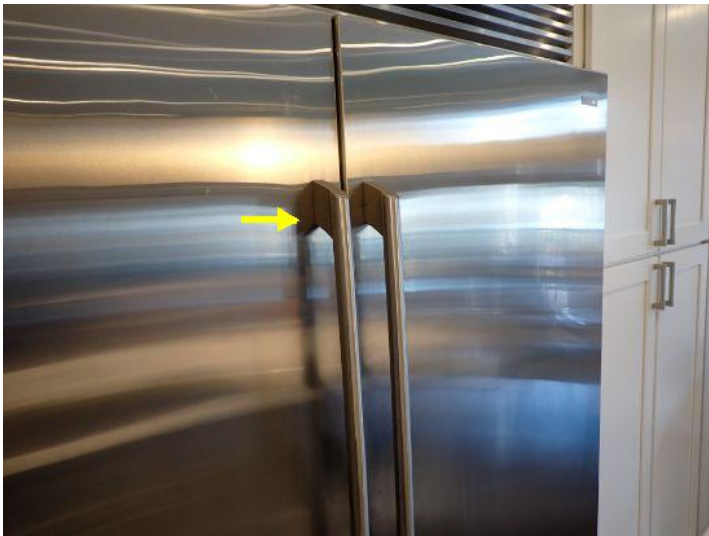
1. Kitchen Appliance

REFRIGERATOR:

- The refrigerator coils are dirty, which can lead to reduced efficiency and a shorter lifespan for the appliance. It is recommended to clean the coils carefully using a vacuum brush. Be cautious not to damage the fins while cleaning, as their shape is essential for proper functionality. Regular maintenance like this can improve the refrigerator's performance and energy efficiency.
- Studies show that dirty coils make refrigerators work harder, wear out faster, and waste energy. Your clean and well-maintained equipment will smell fresher, look cleaner, and use up to 35% less energy.
- Handle loose. Recommend securing refrigerator handle to prevent damage.
- Door misaligned: Refrigerator door is out of alignment. Recommend adjusting it to ensure a tight seal and a cleaner, more finished look.
- Improper function: Freezer drawer will not stay closed, indicating improper function. Recommend further evaluation to determine the cause and repair or replace as needed.

RANGE:

- Burner inoperable: One of the range burners is inoperable, which can hinder your cooking efficiency and convenience. It's essential to repair or replace the malfunctioning burner to ensure all cooking functions are available and safe.



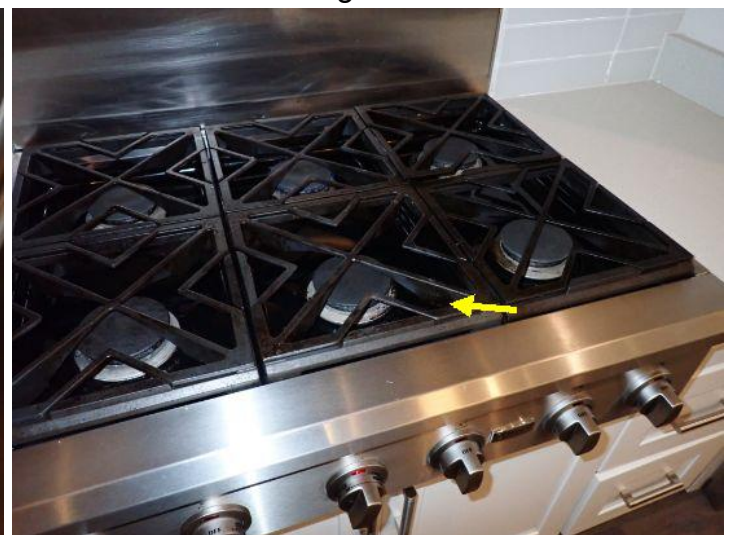
Loose



Misaligned door



Improper function



Improper function

2. Washer And Dryer

- No major system safety or function concerns noted at time of inspection.

Sewer Scope

1. Lateral waste line

DWV PIPE TYPE:

- SCH 40

SEWER PIPE ORIGINAL:

- No

LOCATION OF ENTRY POINT:

- Basement Clean-out

CONDITION OF SEWER LINE:

- Operational

Given the level of inspection performed today, does the main sewer line appear functional?

- Yes

2. Sewer scope

- No major system safety or function concerns noted at time of inspection.

